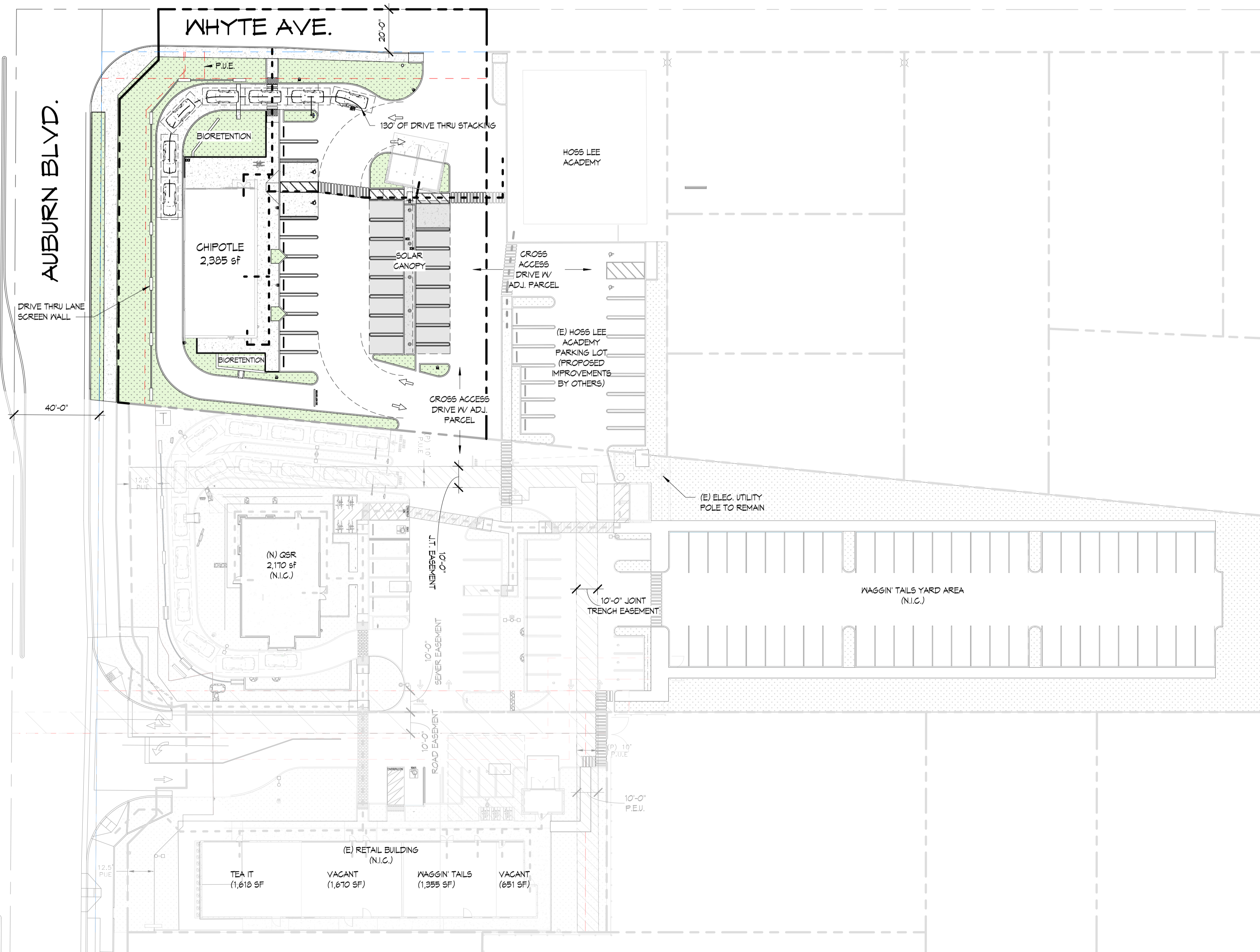




AUBURN & WHYTE
ROSEVILLE, CA



2 OVERALL SITE PLAN
1" = 30'-0"



PROJECT CONTACTS

CLIENT

COASTAL STAR PARTNERS, LLC
837 JEFFERSON BLVD.
WEST SACRAMENTO, CA 95691
PH: (415) 987-4044
ATTN: GALLIE HUFF

ARCHITECT

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET
WOODLAND, CA 95695
PH: (930) 662-9146
ATTN: DEBORAH WOODBURY

CIVIL ENGINEER

RSC ENGINEERING, INC.
1420 ROCKY RIDGE DRIVE
SUITE 150
ROSEVILLE, CA 95661
PH: (916) 788-2804
ATTN: JAI SINGH, PE

LANDSCAPE ARCHITECT

GARTH RUFFNER LANDSCAPE ARCHITECT
4120 DOUGLAS BLVD.
SUITE 306, PMB 301
ROSEVILLE, CA 95746
PHONE: (916) 791-2576
ATTN: GARTH RUFFNER

SITE ELECTRICAL

JOHNSON ELECTRICAL CONSULTING, LLC
5330 DIXIE CIRCLE
FAIR OAKS, CA 95628
PHONE: (916) 541-1910
ATTN: BILL JOHNSON

PARKING ANALYSIS

CITY OF ROSEVILLE PARKING REQUIREMENTS & CALC'S

FAST FOOD W/ DRIVE THRU:
1 / 100 S.F. (INCLUDING OUTDOOR SEATING)

(N) CHIPOTLE QUICK SERVE RESTAURANT, 2,305 S.F. + PATIO 360 S.F. = 2,745 S.F.
2,745 S.F. / 100 = 28 SPACES REQUIRED
(30% MAX. COMPACT ALLOWED)

ELECTRIC VEHICLE PARKING REQUIREMENTS:
6 EVCS SPACES (WITH CHARGERS INSTALLED)
2 EV CAPABLE SPACES (INFRASTRUCTURE ONLY)
8 TOTAL EV CAPABLE SPACES REQUIRED

PARKING PROVIDED:

14 STANDARD SPACES
2 STANDARD EV CAPABLE SPACES (INFRASTRUCTURE ONLY)
1 VAN ACCESSIBLE SPACE
5 STANDARD EVCS SPACES
1 VAN ACCESSIBLE EVCS SPACE
23 TOTAL PARKING SPACES

DRIVE THROUGH STACKING REQUIREMENTS:
STANDARD REQUIRED IS 150' MIN. OF STACKING

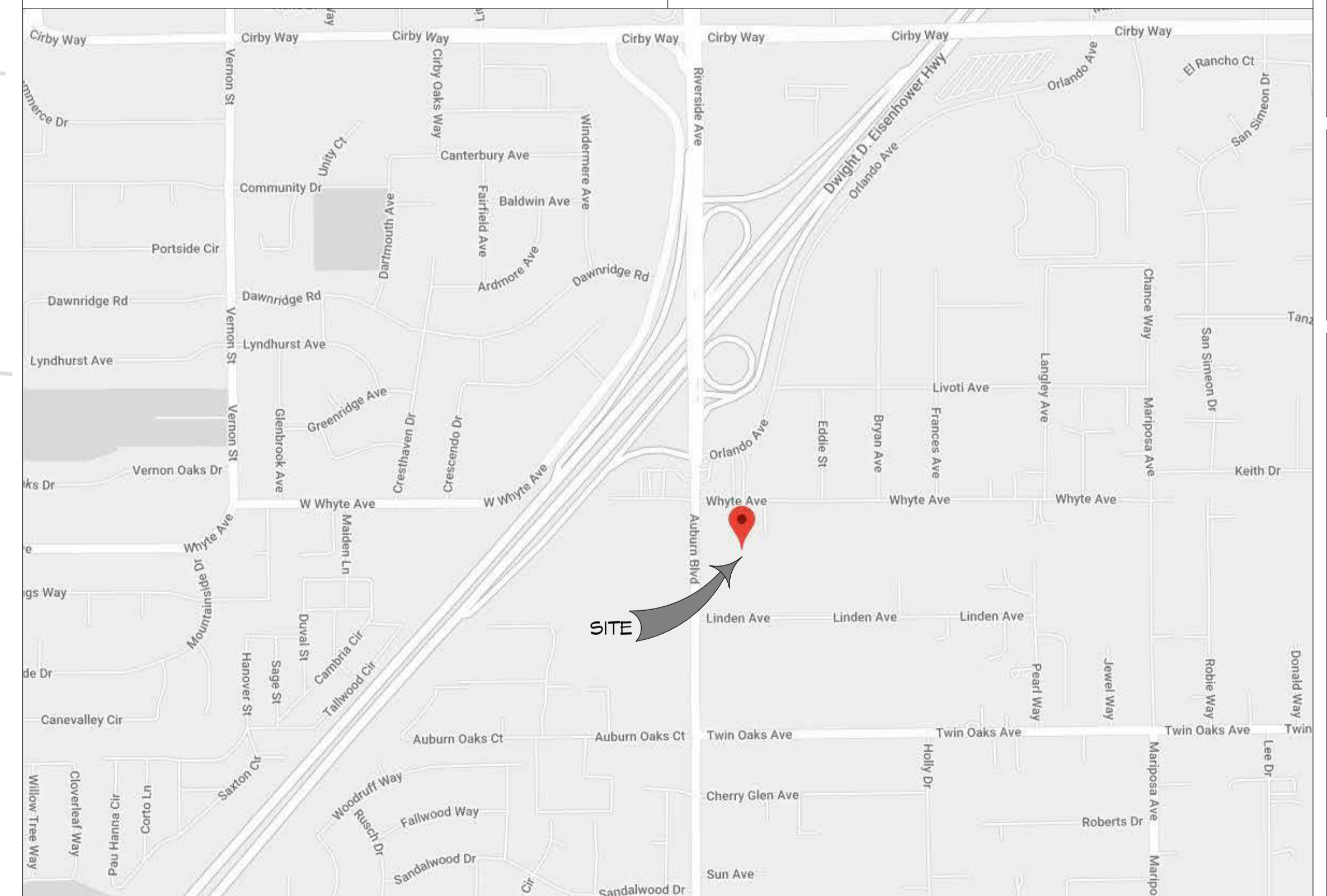
DRIVE THROUGH STACKING PROVIDED:
150' OF STACKING PROVIDED AT DRIVE THROUGH LANE FOR CHIPOTLE
PRE-ORDER QUICK SERVE RESTAURANT WHERE ORDERS ARE PLACED &
PAYMENT TRANSACTIONS ARE PROCESSED VIA MOBILE ORDER APP ONLY

PROJECT DATA

PROJECT DESCRIPTION:	NEW BUILDING, TRASH ENCLOSURE, SOLAR CANOPY, DRIVE THRU LANE AND RELATED SITE IMPROVEMENTS	
JURISDICTION:	CITY OF ROSEVILLE	
ZONING:	(E) ZONING: NEIGHBORHOOD COMMERCIAL (NC) (N) ZONING: COMMUNITY COMMERCIAL (CC)	
GENERAL PLAN DESIGNATION:	CC (COMMUNITY COMMERCIAL)	
SITE AREA:	0.752 ACRES = 32,793 S.F.	
PARCEL NUMBERS:	0411-080-003 & 0411-080-026	
OCCUPANCY TYPE:	GROUP A2 (FUTURE TENANT - CHIPOTLE)	
BUILDING TYPE:	TYPE V-B, UNSPRINKLERED	
ALLOWABLE AREA:	A-2: 6,000 S.F. MAX.	
BUILDING AREA:	2,305 S.F.	
TRASH ENCLOSURE AREA:	301 S.F.	
BUILDING HEIGHT:	MAXIMUM 50 FEET	PROPOSED 18'-0" FEET, 1 STORY
BUILDING SETBACKS:	ORIENTATION WEST (AUBURN BLVD.): NORTH (WHYTE AVE.): EAST (SIDE INTERIOR): SOUTH (SIDE INTERIOR):	PROPOSED 150'-4" (TO R.O.W.) 154'-4" (TO R.O.W.) 1108'-2" 131'-4"
PROPOSED LOT COVERAGE:	1.21%	
LANDSCAPING AREA:	7,084 S.F. (21.6%)	
FLOOD ZONE:	ZONE X	

SHEET INDEX

TO 1	TITLE SHEET
DM	DEMOLITION PLAN
GR	PRELIMINARY GRADING PLAN
SEC	PRELIMINARY GRADING SECTIONS
UT	PRELIMINARY UTILITY PLAN
SD	PRELIMINARY STORM DRAIN PLAN
A1.0	SITE PLAN
A1.1	SCREEN WALL & TRASH ENCLOSURE
A1.2	3D RENDERING
A1.3	SOLAR CANOPY DESIGN
A2.0	FLOOR PLAN
A3.0	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
LE1	PHOTOGRAPHIC SITE PLAN
LA	PRELIMINARY LANDSCAPE PLAN
Grand total: 15	



VICINITY MAP



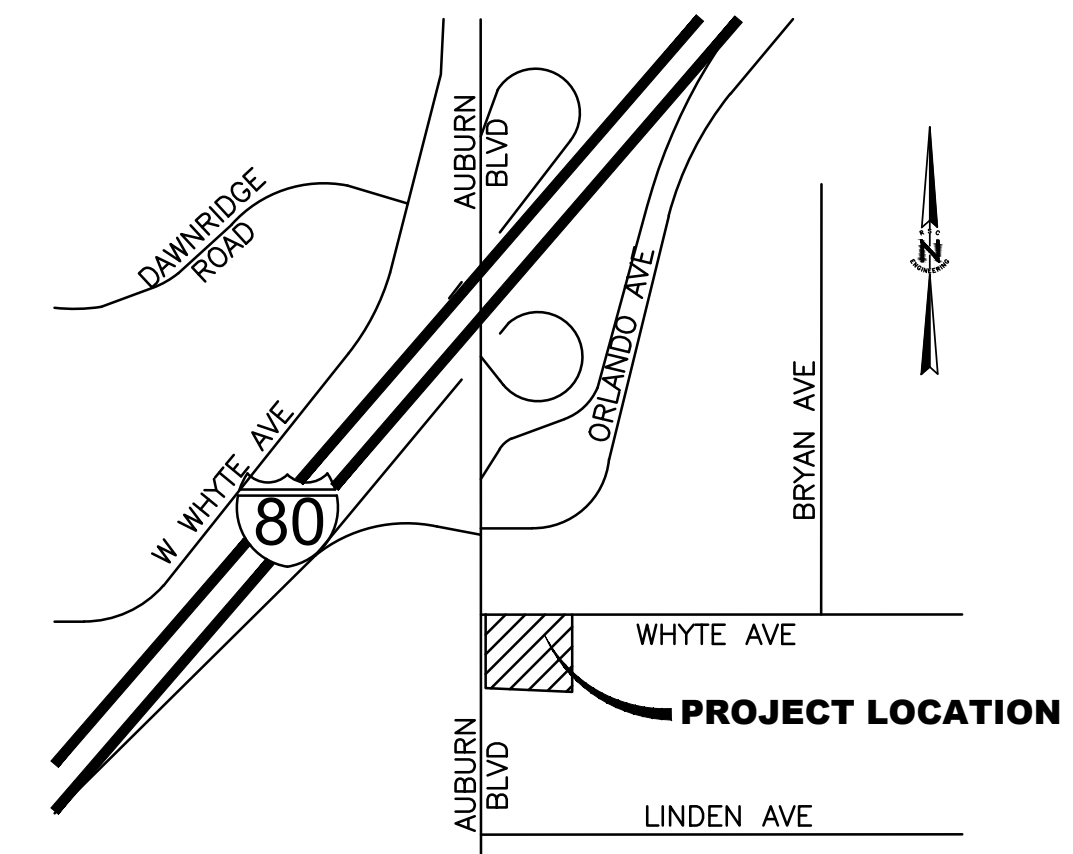
REVISIONS		
#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
WOODLAND, CA 95695
www.mccandlessarch.com
PH: (930) 662-9146

TITLE SHEET
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	05/12/2026
SCALE	1" = 30'-0"
JOB #	24-151
SHEET	TO.1



VICINITY MAP
NOT TO SCALE

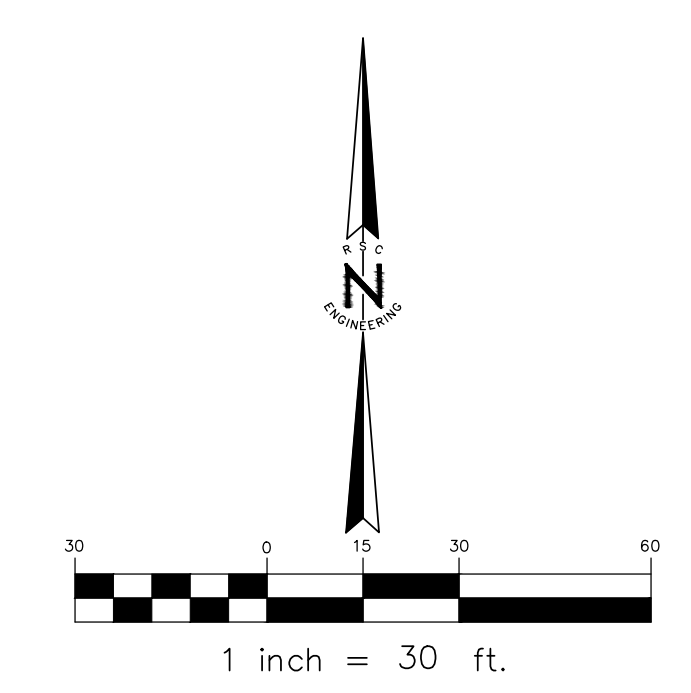
OWNER/APPLICANT:
SUNNY COVE LLC AND KNIGHTS LANDING LLC
P.O. BOX 1230
WEST SACRAMENTO, CA 95661
ATTN: MARK ENGSTROM

ENGINEER/PLANNER:
RSC ENGINEERING, INC.
1420 ROCKY RIDGE DR., SUITE 150
ROSEVILLE, CA 95661
ATTN: TIFFANY WILSON
(916) 788-2884

APN
471-080-003 & 026

UTILITY PROVIDERS:
WATER: CITY OF ROSEVILLE
SEWER: CITY OF ROSEVILLE
DRAINAGE: CITY OF ROSEVILLE
POLICE: CITY OF ROSEVILLE
FIRE: ROSEVILLE FIRE DEPARTMENT
PARKS: CITY OF ROSEVILLE
ELECTRIC: ROSEVILLE ELECTRIC
GAS: PG&E

BASIS OF BEARINGS:
CENTERLINE OF WHYTE AVENUE TAKEN AS S 89°11'40" W AND WAS ESTABLISHED FROM FOUND MONUMENTS SHOWN HEREON.



CITY OF ROSEVILLE APPROVAL

**ENGSTROM
PROPERTIES, INC.**

REV	DATE	DESCRIPTION

**REVIEW ONLY,
NOT FOR
CONSTRUCTION**

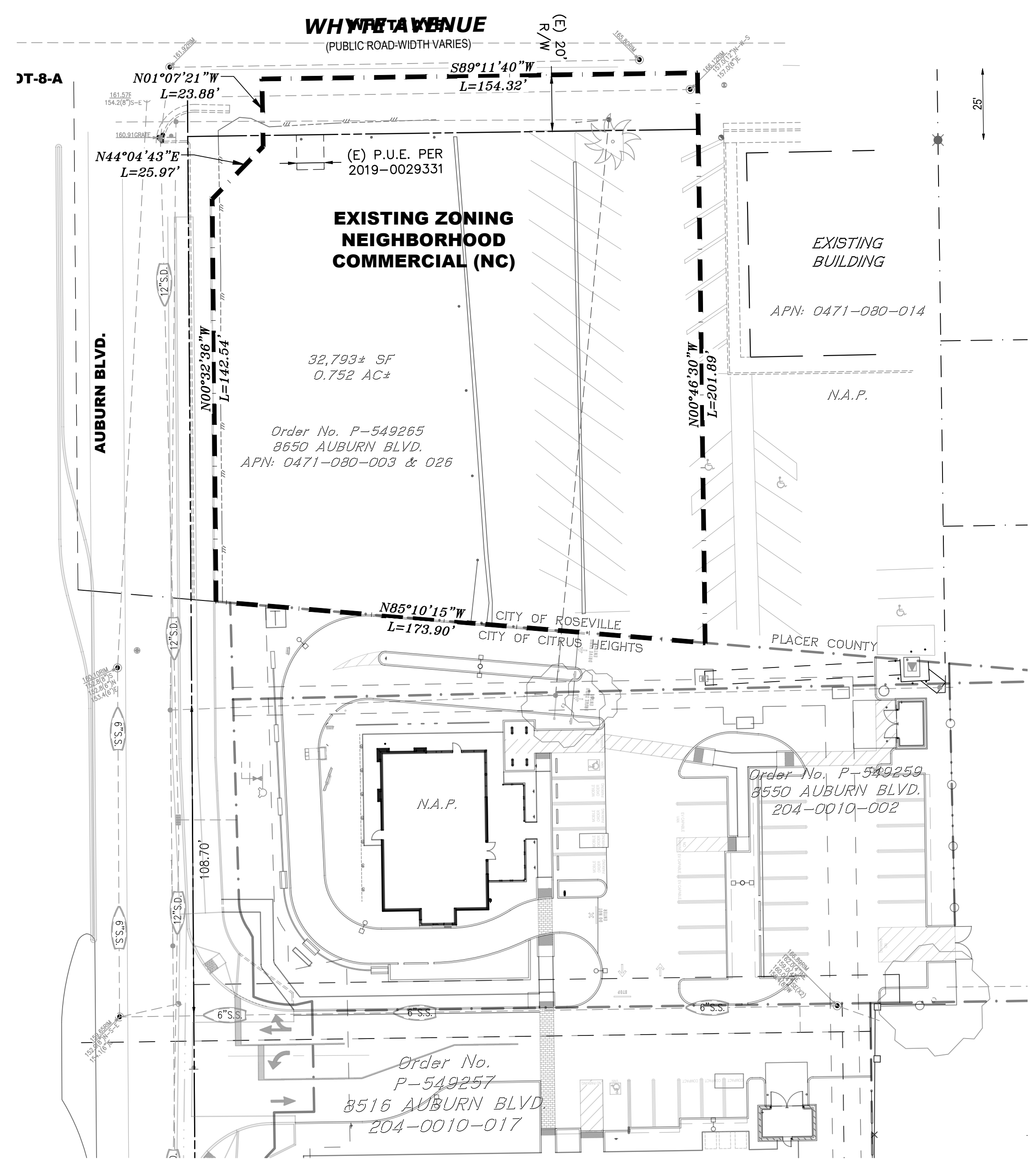
PROJECT NO:	270-013
DRAWN BY:	RSC Eng
CHECKED BY:	RSC Eng
DESIGNED BY:	RSC Eng

**PRELIMINARY PLANS FOR
8650 AUBURN BLVD
ROSEVILLE, CA**

SHEET TITLE
**REZONE
EXHIBIT**

SHEET NO.
RZ

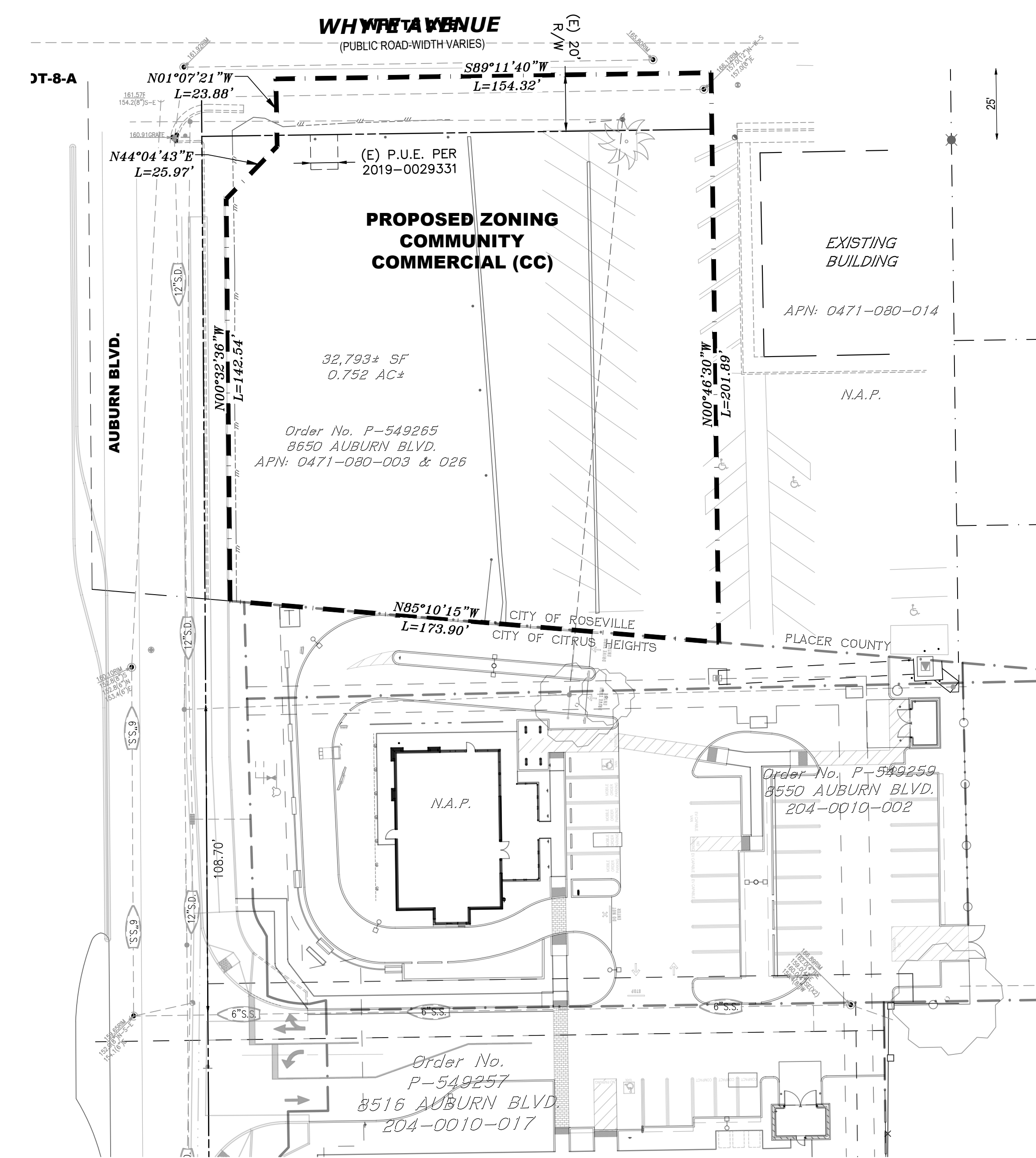
DATE: MAY 5, 2026



EXISTING
SCALE: 1" = 30'

EXISTING ZONING

EXISTING ZONING	NET/GROSS AREA (SF)	NET/GROSS AREA (AC)
NEIGHBORHOOD COMMERCIAL (NC)	32,793±	0.752±



PROPOSED
SCALE: 1" = 30'

PROPOSED ZONING

PROPOSED ZONING	NET/GROSS AREA (SF)	NET/GROSS AREA (AC)
COMMUNITY COMMERCIAL (CC)	32,793±	0.752±

DRAWING: P:\270-013\Permit\Conceptual\270013_8650.rvt
 USER: MATT@RSC.COM
 PLOT DATE: May 11, 2026 - 10:24:40 AM
 SCALE: 1" = 30'
 PROJECT: 270-013

REV. NO.	DATE	DESCRIPTION



RSC ENGINEERING
 1420 Rocky Ridge Drive, Suite 150
 Roseville, CA 95661
 Ph: 916.788.2884 Fax: 916.788.4408

PROJECT NO:	270-013
DRAWN BY:	RSC Eng
CHECKED BY:	RSC Eng
DESIGNED BY:	RSC Eng

PRELIMINARY PLANS FOR
8650 AUBURN BLVD
 ROSEVILLE, CA

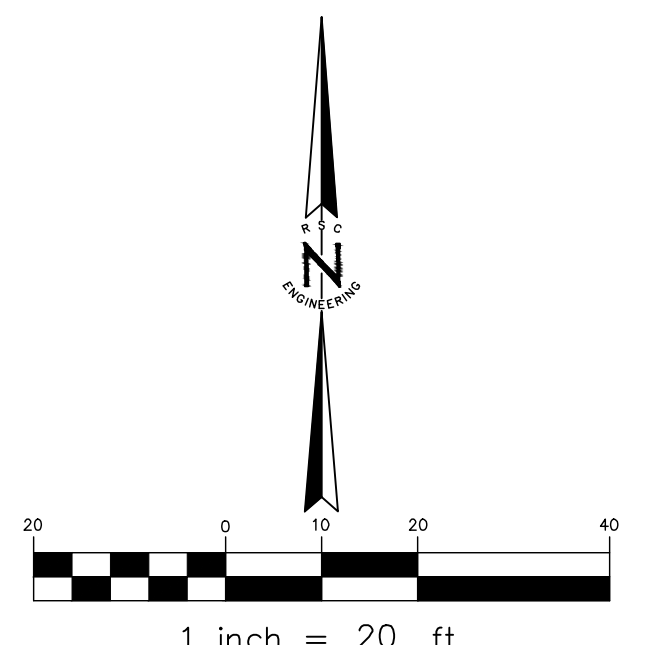
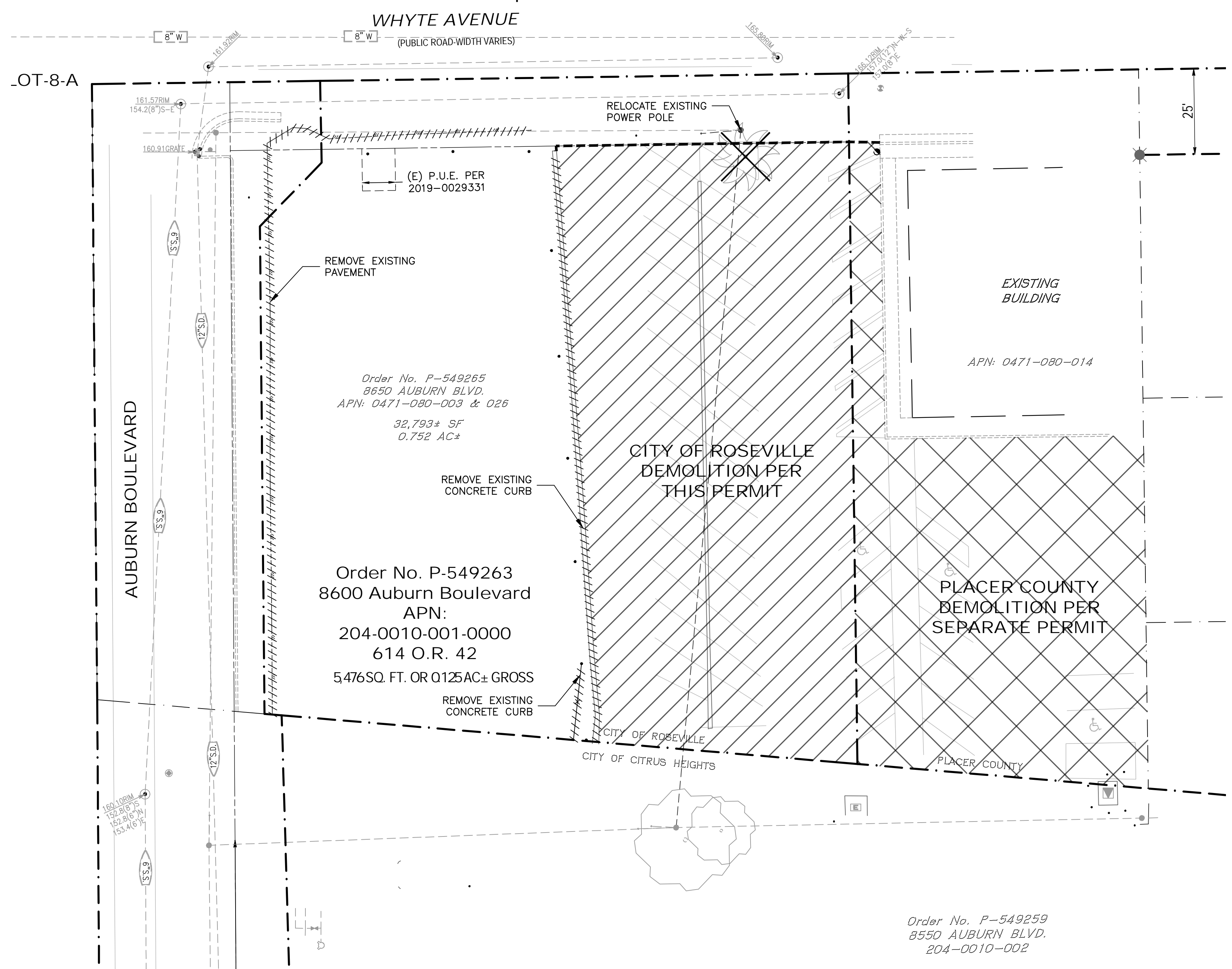
SHEET TITLE
 DEMOLITION
 PLAN

SHEET NO.
DM

DATE: MAY 5, 2026

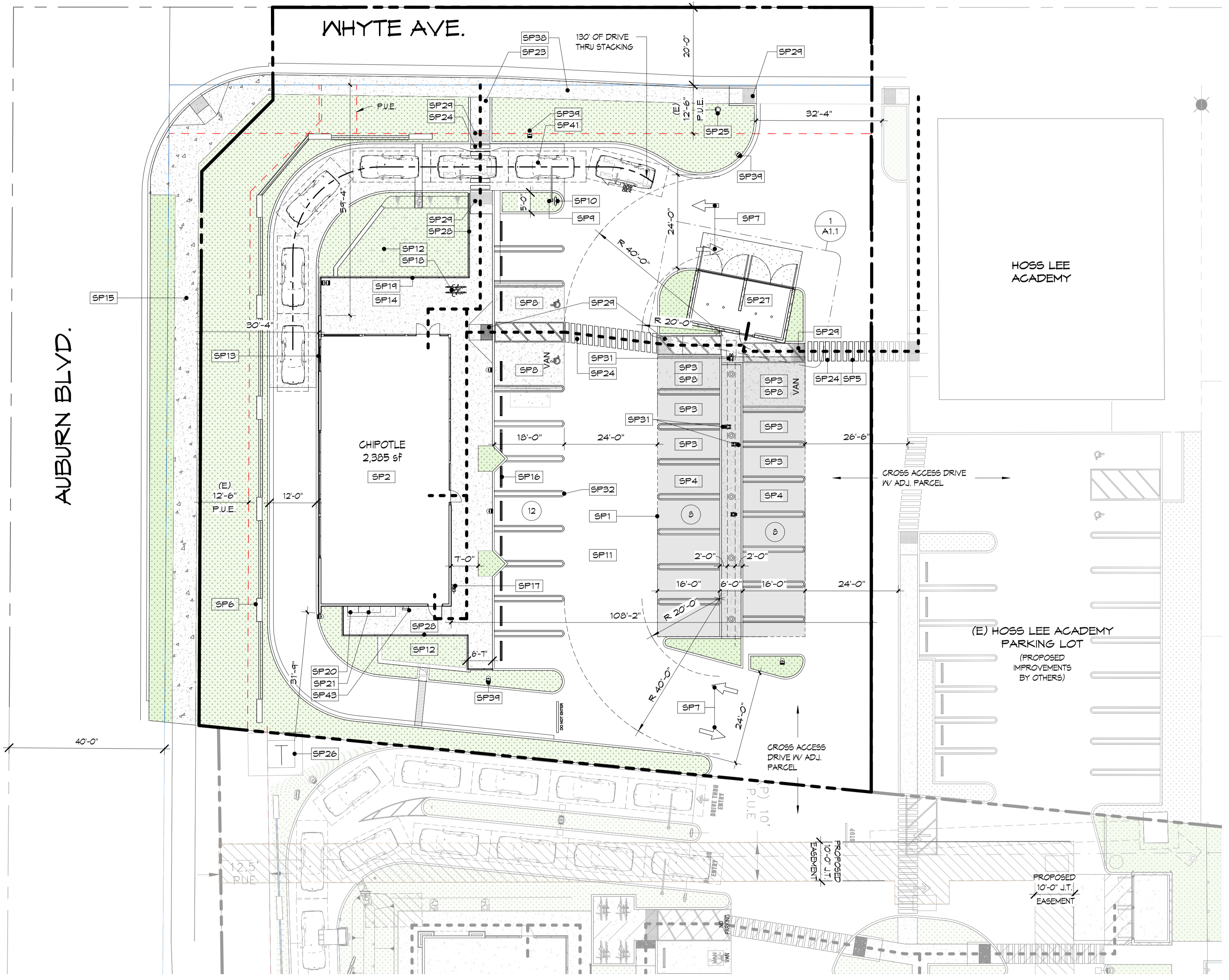
LEGEND

- EXISTING CURB/EP/FENCE TO BE REMOVED (SEE PLAN)
- CITY OF ROSEVILLE DEMOLITION REMOVE EXISTING PAVEMENT, CONCRETE AND STRIPING PER PLAN (14,266± SF OF IMPERVOUS AREA REMOVED)
- PLACER COUNTY DEMOLITION (PER SEPARATE PERMIT) REMOVE EXISTING PAVEMENT, CONCRETE AND STRIPING PER PLAN (9,201± SF OF IMPERVOUS AREA REMOVED)
- EXISTING TREE TO BE REMOVED



CITY OF ROSEVILLE APPROVAL

P:\270-013\Permit\Conceptual\270013_2026.dwg
 User: RSC\eng\eng_03_28_2026 - 10:28
 Plot Date: May 11, 2026 - 7:52:57 AM



1 SITE PLAN
1/16" = 1'-0"



SITE PLAN LEGEND

	PROPERTY LINE
	ADJACENT PARCELS PROPERTY LINE
	(E) R.O.W.
	(E) OR PROPOSED EASEMENT
	(E) UNDERGROUND UTILITY DISTRICT
	(E) JOINT TRENCH
	ACCESSIBLE PATH OF TRAVEL
	(N) LANDSCAPE PLANTERS, SEE LANDSCAPE PLAN
	PARKING COUNT TAG
	KEYNOTE TAG

SITE PLAN KEYNOTES

- SP1 (N) TENANT INSTALLED SOLAR CANOPY STRUCTURE
- SP2 (N) SHELL BUILDING (IF FUTURE TENANT IMPROVEMENTS BY CHIPOTLE)
- SP3 (N) EV PARKING SPACE W/ INFRASTRUCTURE TO ACCOMMODATE INSTALLATION OF EVSE EQUIPMENT
- SP4 EV CAPABLE PARKING SPACE W/ INFRASTRUCTURE TO ACCOMMODATE FUTURE INSTALLATION OF EVSE EQUIPMENT
- SP5 PEDESTRIAN ACCESS TO ADJACENT PARCELS IN DEVELOPMENT IS VIA HOSS LEE SITE
- SP6 (N) DRIVE THRU SCREEN WALL, SEE DETAILS ON SHEET A1.1
- SP7 (N) THERMOPLASTIC SITE WAYFINDING DIRECTIONAL ARROWS - ARROWS SHALL BE WHITE
- SP8 (N) ACCESSIBLE PARKING SPACE WITH ACCESSIBLE PARKING SIGN (VAN ACCESSIBLE WHERE INDICATED)
- SP9 (N) TENANT INSTALLED CLEARANCE BAR
- SP10 (N) TENANT INSTALLED ANNOUNCE SIGN
- SP11 (N) PARKING LOT WITH AG PAVING
- SP12 (N) BIORETENTION AREA, SEE CIVIL FOR MORE INFORMATION
- SP13 (N) DRIVE THRU PRE-ORDER PICK-UP WINDOW
- SP14 (N) OUTDOOR PATIO SEATING AREA
- SP15 (N) SIDEWALK INSTALLED BY CITY
- SP16 (N) CONCRETE WHEELSTOP, TYP.
- SP17 PROPOSED GAS METER LOCATION, FINAL LOCATION TO BE COORDINATED W/ SMUD
- SP18 (N) HOOP STYLE BIKE RACK
- SP19 (N) METAL RAILING
- SP20 (N) METER PANEL FOR EV CHARGING
- SP21 (N) BUILDING ELECTRIC SWITCHGEAR
- SP22 (N) SIDEWALK FOR PEDESTRIAN ACCESS TO PUBLIC WAY
- SP24 (N) MARKINGS AT PEDESTRIAN CROSSING IN VEHICULAR AREA
- SP25 RELOCATED UTILITY POLE
- SP26 (N) TRANSFORMER
- SP27 (N) COVERED TRASH ENCLOSURE, SEE DETAILS ON SHEET A1.1
- SP28 (N) PATIO RAILING BY TENANT RAILING SUPPLIER
- SP29 (N) TRUNCATED DORIES, TYP.
- SP31 (N) EVSE PEDESTAL, TYP.
- SP32 (N) 4' WIDE PAINTED PARKING STRIPING PER CITY STANDARD
- SP33 (N) SIDEWALK, SEE CIVIL FOR MORE INFORMATION
- SP34 (N) POLE LIGHT, TYP., REFER TO SITE LIGHTING PLAN
- SP41 20'-0" VEHICLE LENGTH, TYP.
- SP43 (N) ROOF ACCESS LADDER

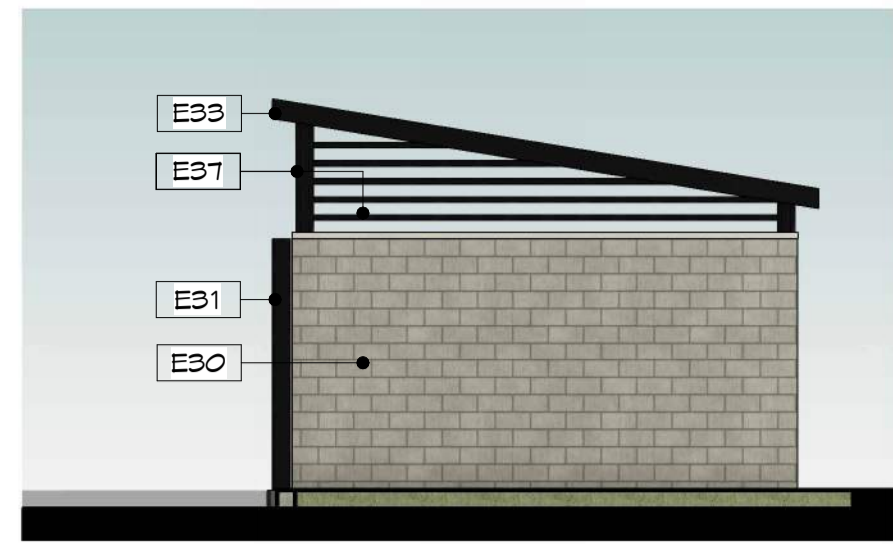
REVISIONS		
#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
WOODLAND, CA 95695
www.mccandlessarch.com
PH: (916) 662-1146

SITE PLAN
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	05/12/2026
SCALE	As Indicated
JOB #	24-151
SHEET	A1.0



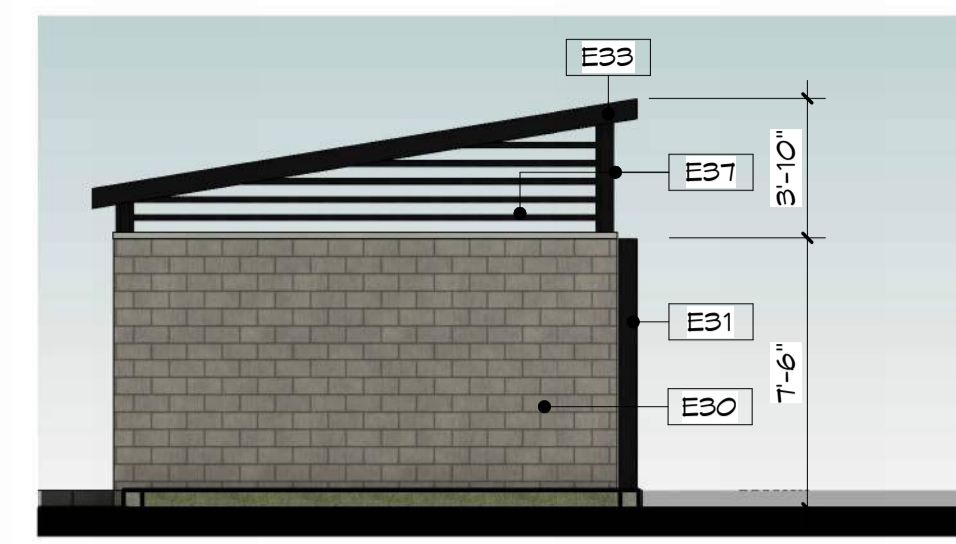
5 TRASH ENCLOSURE - WEST ELEVATION
3/16" = 1'-0"



4 TRASH ENCLOSURE - SOUTH ELEVATION
3/16" = 1'-0"

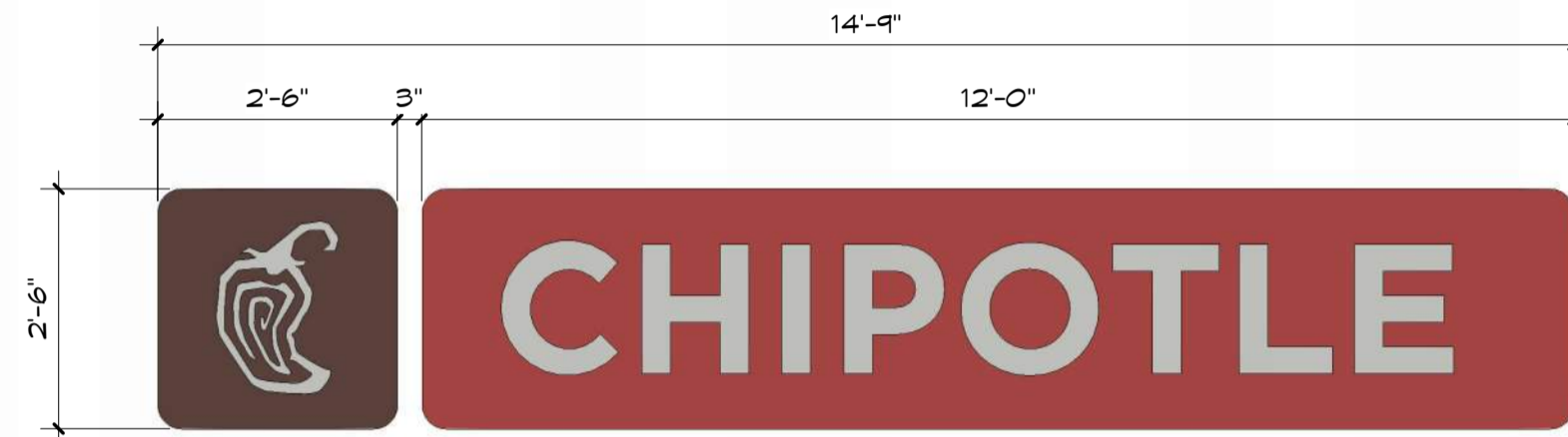


3 TRASH ENCLOSURE - NORTH ELEVATION
3/16" = 1'-0"



2 TRASH ENCLOSURE - EAST ELEVATION
3/16" = 1'-0"

TRASH ENCLOSURE KEYNOTES	
E30	SPLIT FACED CMU, COLOR CALSTONE 3147WC
E31	6" DIAMETER STEEL GATE BOLLARDS FILLED W/ CONCRETE, COLOR: BLACK POWDER COAT FINISH
E32	BOX RIB METAL GATE PANELS W/ 2"X2" L METAL FRAME, COLOR: BLACK POWDER COAT FINISH
E33	CORRUGATED METAL ROOF, COLOR: BLACK POWDER COAT FINISH
E35	THIN BRICK VENEER (RUNNING BOND) ENDICOTT 1/2" MODULAR, COLOR: GRAPHITE VELOUR (FORMERLY NAMED "MANGANESE BROWN" - TO MATCH ADJ. QSR SCREEN WALL)
E36	STUCCO SYSTEM, COLOR: BENJAMIN MOORE "SILHOUETTE" (AF-655)
E37	STEEL COLUMNS, BARS & MISC. METAL W/ POWDER COAT FINISH, COLOR: BLACK
FP20	SPLIT FACED CMU, CALSTONE, SEE ELEVATIONS FOR COLOR
FP21	6" DIAMETER STEEL GATE BOLLARDS FILLED W/ CONCRETE, COLOR: BLACK POWDER COAT FINISH
FP22	CORRUGATED METAL GATE PANELS W/ 2"X2" L METAL FRAME, COLOR: BLACK POWDER COAT FINISH
FP24	6" DIAMETER BOLLARDS FILLED W/ CONCRETE, COLOR: YELLOW



8 BUILDING MOUNTED SIGNAGE
1/2" = 1'-0"



SPLIT FACED CMU,
COLOR CALSTONE 3147WC



STEEL FRAME & PREFINISHED BOX RIB
METAL PANEL PANELS AT TRASH ENCLOSURE
BLACK POWDER COAT FINISH

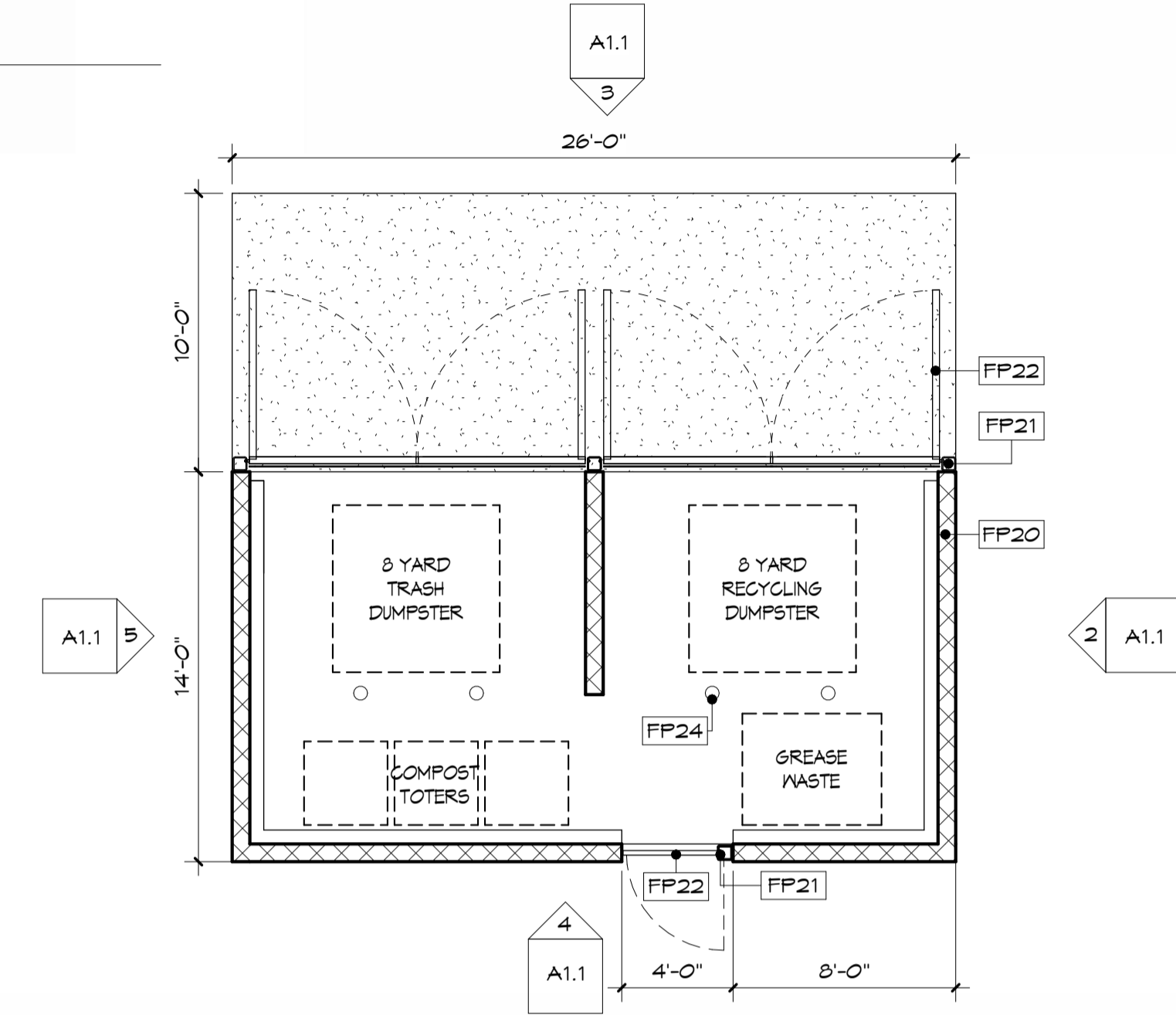


THIN BRICK VENEER (RUNNING BOND) AT
(N) DRIVE THRU SCREEN WALL
ENDICOTT 1/2" MODULAR,
COLOR: GRAPHITE VELOUR
(FORMERLY NAMED "MANGANESE BROWN" -
TO MATCH ADJ. QSR SCREEN WALL)



STUCCO AT (N) DRIVE THRU SCREEN WALL
BENJAMIN MOORE "SILHOUETTE" (AF-655)

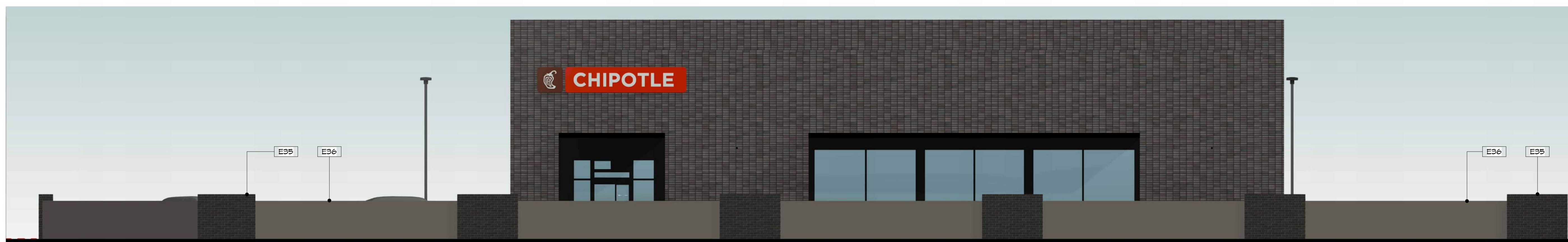
MATERIALS - SITE ELEMENTS
1/2" = 1'-0"



1 ENLARGED TRASH ENCLOSURE PLAN
3/16" = 1'-0"



7 NORTH SCREEN WALL ELEVATION
3/16" = 1'-0"



6 WEST SCREEN WALL ELEVATION
3/16" = 1'-0"

REVISIONS		
#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
WOODLAND, CA 95695
www.mccandlessarch.com
PH: (950) 662-1146

SCREEN WALL & TRASH ENCLOSURE
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	05/12/2026
SCALE	As Indicated
JOB #	24-151
SHEET	A1.1

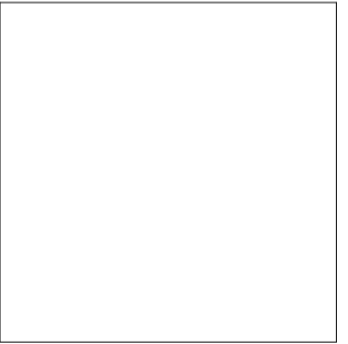


① VIEW FROM AUBURN & WHYTE INTERSECTION

REVISIONS		
#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
 8650 AUBURN BLVD.
 ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 428 1/2 FIRST STREET, SUITE 204
 WOODLAND, CA 95695
 www.mccandlessarch.com
 PH ▲ (916) 662-1146



3D RENDERING
 DESIGN REVIEW

DRAWN	Author
CHECKED	checker
DATE	05/12/2026
SCALE	12" = 1'-0"
JOB #	24-151
SHEET	A1.2

REVISIONS		
#	Date	Description

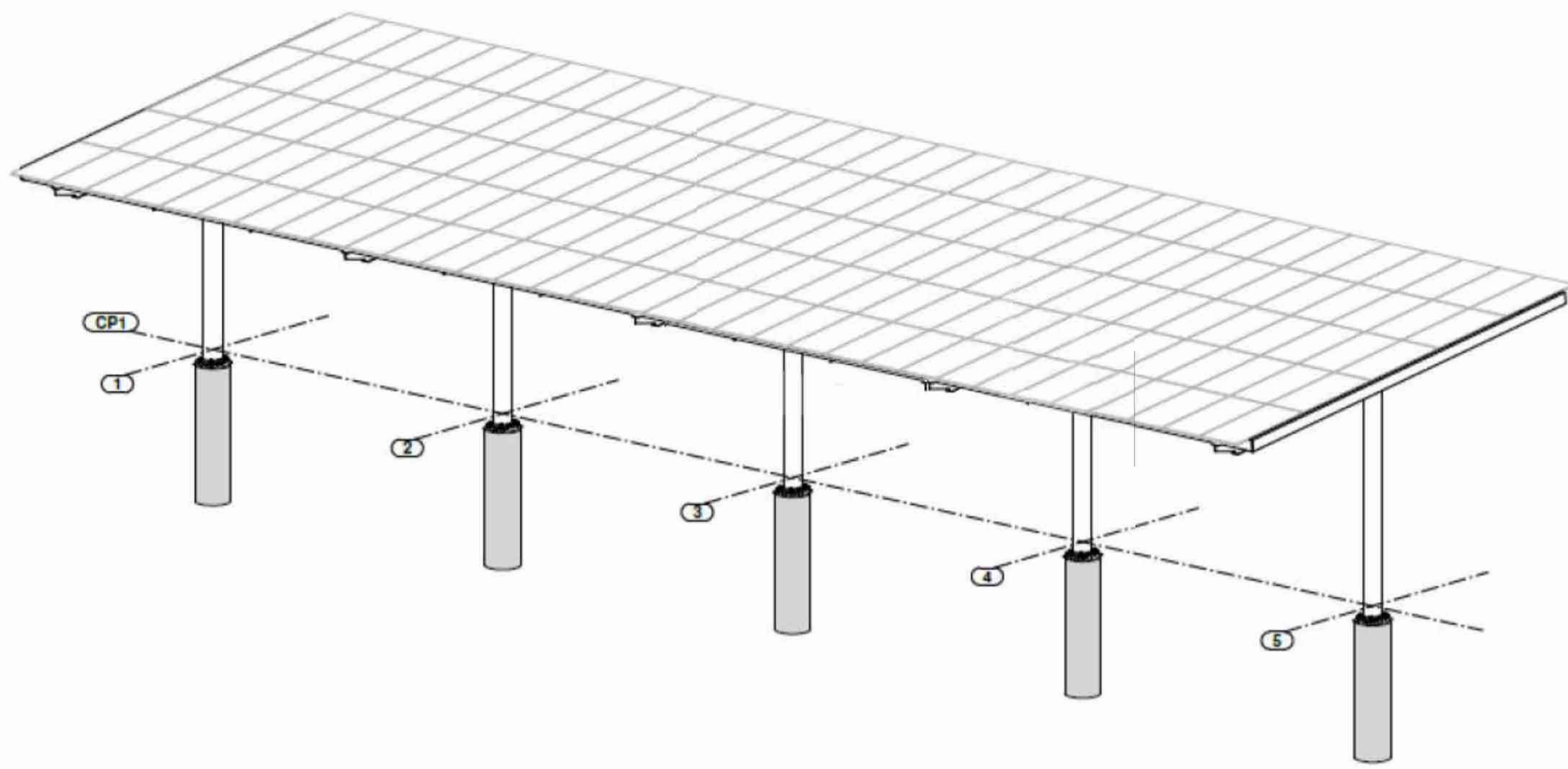
PROJECT FOR:
CHIPOTLE, ROSEVILLE
 8650 AUBURN BLVD.
 ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 428 1/2 FIRST STREET, SUITE 204
 WOODLAND, CA 95698
 www.mccandlessarch.com
 PH: (916) 662-2146

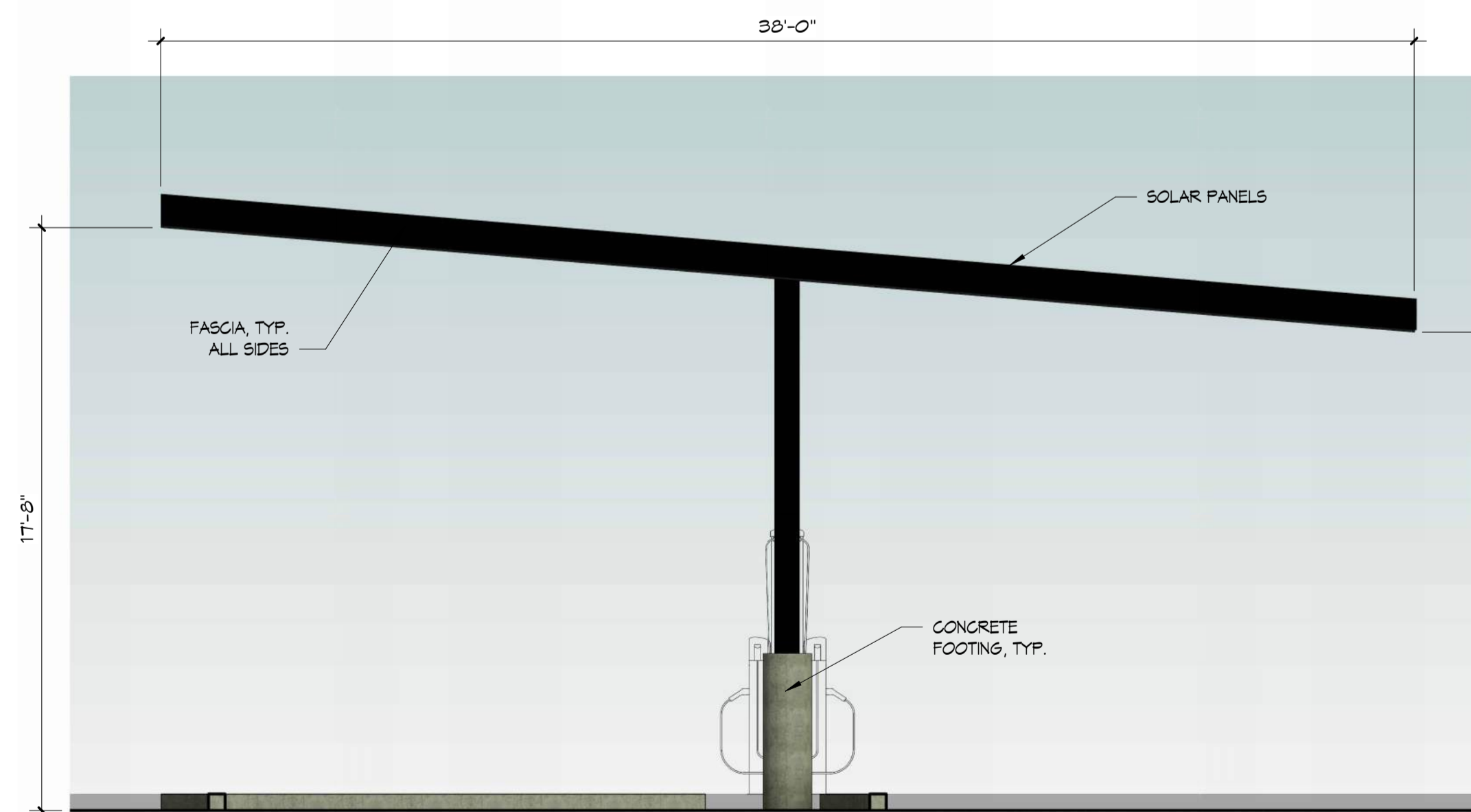
SOLAR CANOPY DESIGN
 DESIGN REVIEW

DRAWN MAA
 CHECKED MAA
 DATE 05/12/2026
 SCALE As Indicated
 JOB # 24-151
 SHEET

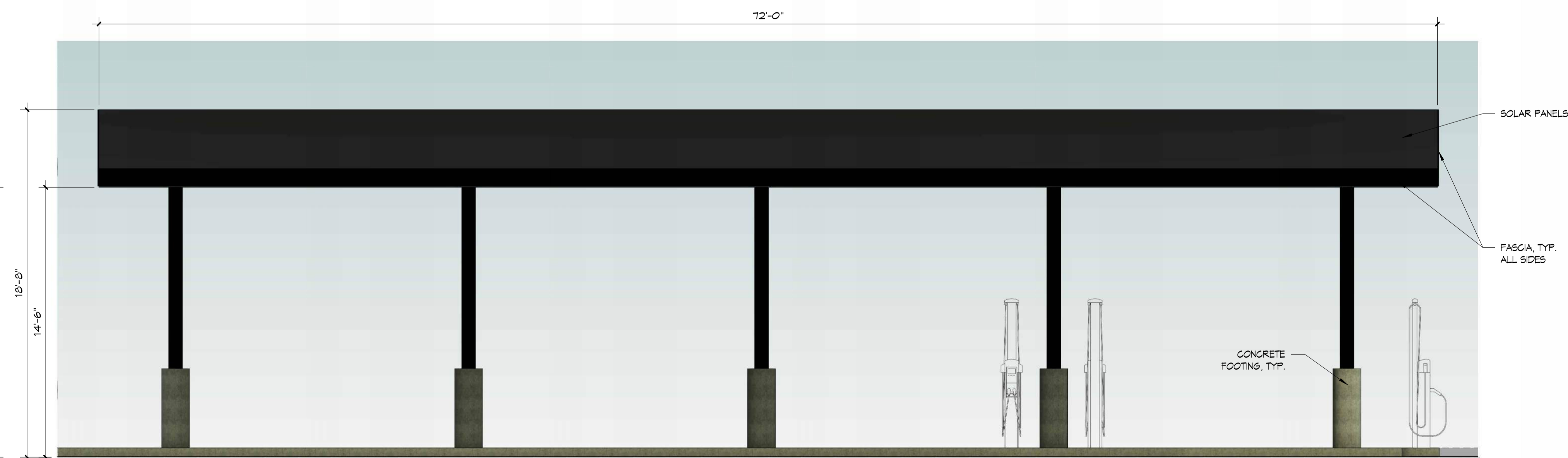
A1.3



1 SOLAR CANOPY (PROVIDED BY TENANT)



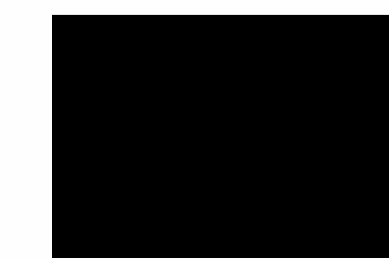
3 SOUTH CANOPY ELEVATION
 1/4" = 1'-0"



2 NORTH CANOPY ELEVATION
 1/4" = 1'-0"

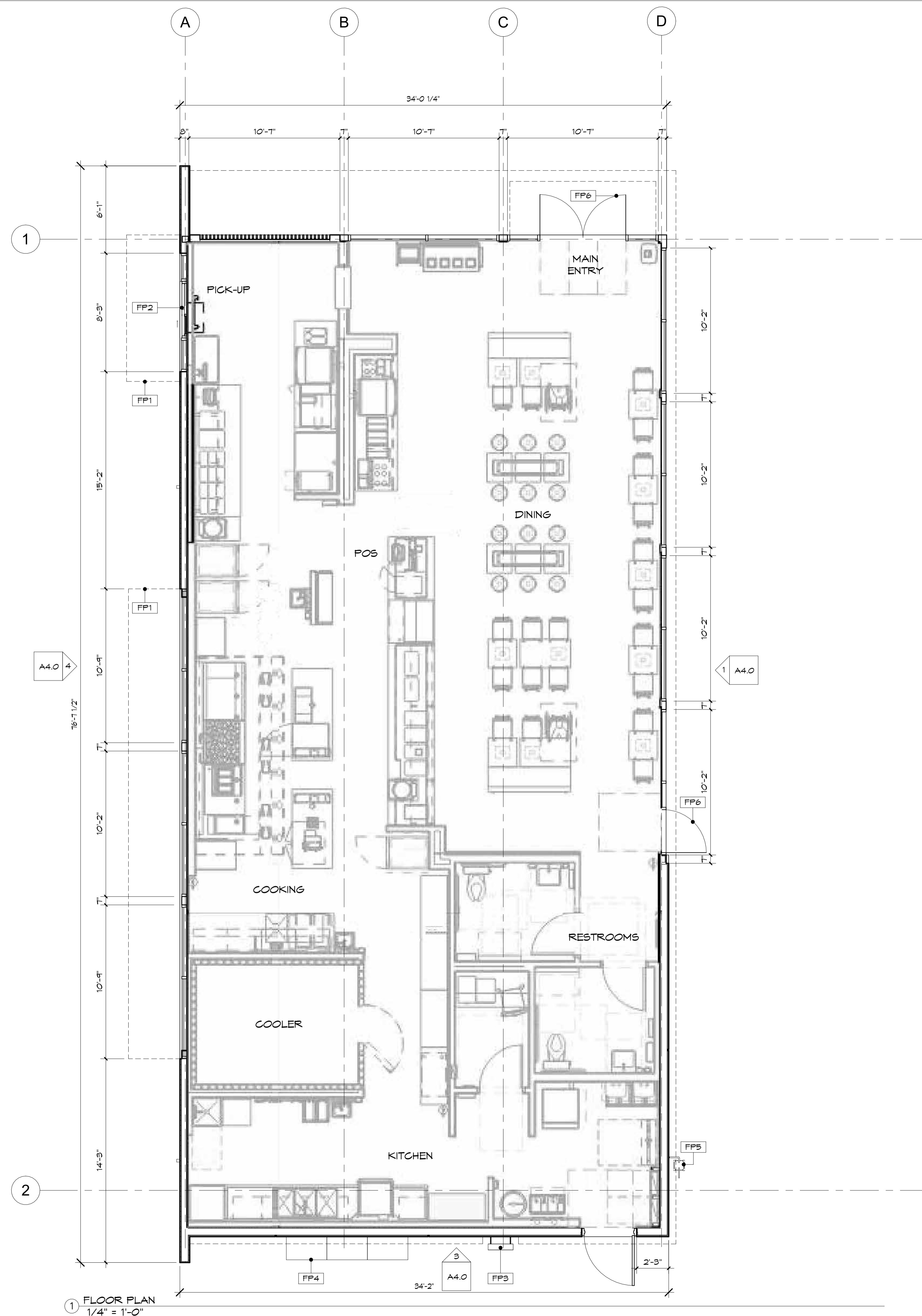


CONCRETE FOOTING



STEEL FRAME & FASCIA
 BLACK POWDER COAT FINISH

MATERIALS



1 FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXTERIOR WALL
- LINE OF ROOF OR CANOPY ABOVE
- KEY NOTE
- GRIDLINE

FLOOR PLAN KEYNOTES

- FP1 EXTERIOR AWNING ABOVE
- FP2 DRIVE-THRU SERVICE WINDOW
- FP3 ROOF ACCESS LADDER
- FP4 ELECTRICAL SWITCHGEAR AND METER LOCATION
- FP5 PROPOSED GAS METER LOCATION
- FP6 STOREFRONT ENTRANCE DOORS

REVISIONS		
#	Date	Description

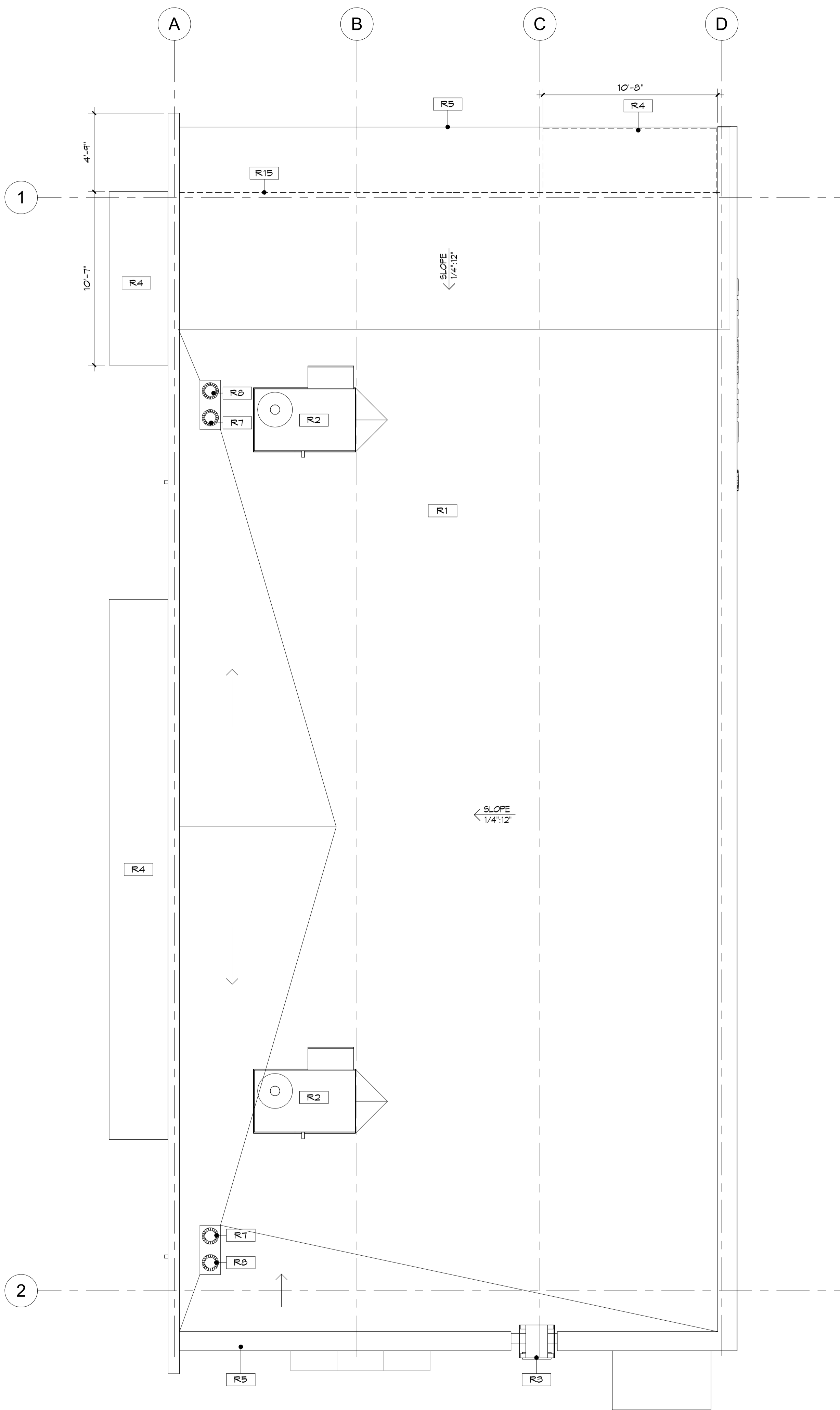
PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
WOODLAND, CA 95695
www.mccandlessarch.com
PH ▲ (950) 662-2146

FLOOR PLAN
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	05/12/2026
SCALE	1/4" = 1'-0"
JOB #	24-151
SHEET	A2.0





1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN KEYNOTES

R1	CLASS A ROOFING ASSEMBLY: WHITE
R2	ROOFTOP MECHANICAL UNIT
R3	ROOF ACCESS LADDER
R4	EXTERIOR METAL AWNING BELOW
R5	PRE-FINISHED METAL COPING. SEE EXTERIOR ELEVATIONS FOR COLOR
R7	ROOF DRAIN SET IN SUMP PAN
R8	ROOF OVERFLOW DRAIN SET IN SUMP PAN
R15	PERMITER OF WALL BELOW

REVISIONS

#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
MCCLELLAND, CA 95658
www.mccandlessarch.com
PH: (916) 662-2146

ROOF PLAN
DESIGN REVIEW

DRAWN: MAA
CHECKED: MAA
DATE: 05/12/2026
SCALE: 1/4" = 1'-0"
JOB #: 24-151
SHEET

A3.0





1 EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

E1	CONCRETE CURB
E2	STUCCO SYSTEM, COLOR MATCH TO PPG PEGASUS
E3	THIN BRICK VENEER (STACKED), ENDICOTT 1/2" MODULAR, COLOR: SIENNA IRONSPOT SMOOTH
E4	PREFINISHED METAL COPING, COLOR TO MATCH STOREFRONT
E5	STUCCO CONTROL JOINT, TYP.
E6	SPANDREL GLASS WINDOWS TO MATCH STOREFRONT WINDOWS
E7	ALUMINUM STOREFRONT SYSTEM, COLOR: BLACK, TYP.
E8	PREFINISHED FLUSH METAL PANEL, COLOR TO MATCH STOREFRONT
E9	PREFINISHED METAL CANOPY, COLOR TO MATCH STOREFRONT
E10	INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE
E11	DECORATIVE EXTERIOR WALL SCIENCE, ALU ROUND SIDE 4 BY PERFORMANCE IN LIGHTING
E12	LANDSCAPE SCREENING FOR SWITCHGEAR ENCLOSURE, SEE LANDSCAPE PLANS
E13	6" VINYL ADDRESS LETTERS
E14	METERING SWITCHGEAR, PAINT TO MATCH ADJACENT WALL, TO BE SCREENED BY LANDSCAPE SHRUBS, SEE LANDSCAPE PLANS
E15	EMERGENCY LIGHT
E16	HOLLOW METAL SERVICE DOOR, PAINT TO MATCH ADJACENT WALL
E17	DRIVE THRU SCREEN WALL, SEE DETAILS
E18	PATIO RAILING
E19	PROPOSED GAS METER LOCATION
E21	EXTERIOR ROOF LADDER WITH LOCKING GATE, LOCKING GATE PAINTED TO MATCH ADJACENT WALL
E24	PREFINISHED BOX RIB METAL PANEL, TO COLOR MATCH STOREFRONT
E25	ALUMINUM PASS-THRU WINDOW WITH INTEGRATED INTERIOR AIR CURTAIN, COLOR TO MATCH STOREFRONT
E26	POLE LIGHT, TYP.
E27	HOOP STYLE BIKE RACK
E28	CONCRETE WHEELSTOP, TYP.

REVISIONS		
#	Date	Description

PROJECT FOR:
CHIPOTLE, ROSEVILLE
8650 AUBURN BLVD.
ROSEVILLE, CA 95661



2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

MATERIALS

	STUCCO AT EXTERIOR WALL, TRASH ENCLOSURE & DRIVE THRU SCREEN WALL PPG "PEGASUS" (PPG1010-1)
	PREFINISHED FLUSH METAL PANEL BLACK POWDER COAT FINISH
	PREFINISHED BOX RIB METAL PANEL BLACK POWDER COAT FINISH
	THIN BRICK VENEER (RUNNING BOND) ENDICOTT 1/2" MODULAR, COLOR: SIENNA IRONSPOT SMOOTH

McCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204
MCCOYLAND, CA 95665
www.mccandlessarch.com
PH: (916) 662-2146

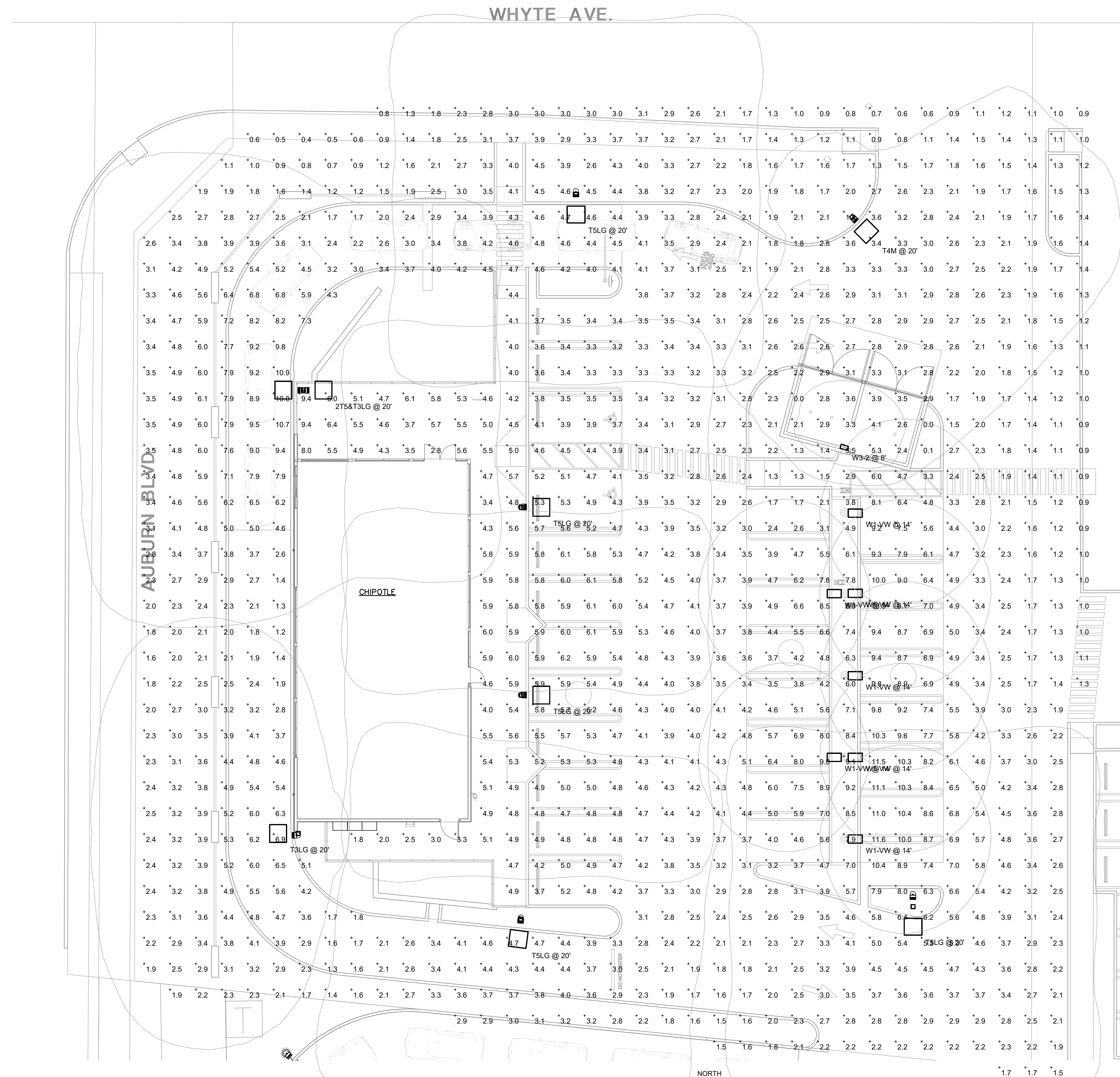
EXTERIOR ELEVATIONS
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	05/12/2026
SCALE	1/4" = 1'-0"
JOB #	24-151
SHEET	A4.0

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	3.8 fc	11.6 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	Input Power
	T3LG	1	Lithonia Lighting	DSX1 LED P4 40K 80CRI T3LG	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 3 Low G Rating	123.94
	T4M	1	Lithonia Lighting	DSX1 LED P4 40K 80CRI T4M	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 4 Medium	123.94
	T5LG	5	Lithonia Lighting	DSX1 LED P4 40K 80CRI T5LG	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 5 Low G Rating	123.94
	2T5 & T3L G	1	Lithonia Lighting	DSX1 LED P4 40K 80CRI T5LG and DSX1 LED P4 40K 80CRI T3LG	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 5 Low G Rating and Type 3 Low G Rating	247.88
	W3-2	1	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	10.0002
	W1-VW	7	Lithonia Lighting	TWR1 LED ALO-MEDF 40K UVOLT	TWR1 LED, Medium Lumen Setting, 4000K Setting, 120-347V	35.5

REVISIONS	BY



2 W1-VW LUMINAIRE UNDER CANOPY
SCALE: NONE



3 W3-2 LUMINAIRE @ TRASH ENCLOSURE
SCALE: NONE



4 SITE POLE LUMINAIRE 'T3LG', 'T4M', 'T5LG' & '2T5&T3LG'
SCALE: NONE

1 PHOTOMETRIC SITE PLAN
SCALE: 1" = 10'-0"

AUBURN BLVD. & WHYTE PHOTOMETRIC EXHIBIT, ROSEVILLE

Johnson Electrical Consulting, LLC
5320 Divot Circle
Fair Oaks, CA 95628
(916) 591-1910

PROJECT FOR:
CHIPOTLE
AUBURN BLVD. & WHYTE AVE.
ROSEVILLE, CALIFORNIA 95661

Date 04/08/2026
Scale AS NOTED
Designed WDJ
Checked JHP
Job CHIPOTLE ROSEVILLE
Sheet


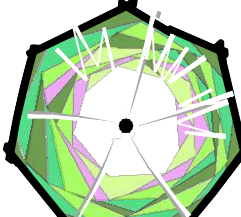
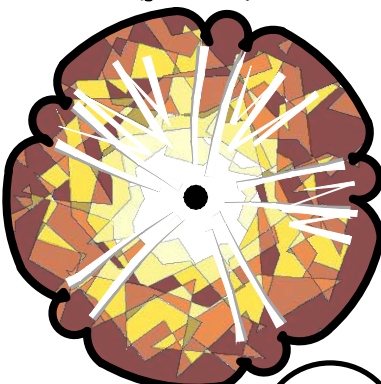

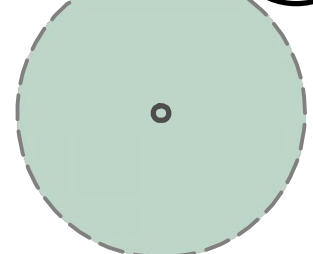


LE1

PARKING LOT SHADE CALCULATIONS:

TREE TYPE	AREA/		QUANTITY				SUBTOTAL	TOTAL
	FULL		FULL	3/4	1/2	1/4		
20' DIA. TREES								
LAGERSTROEMIA INDICA	314	S.F.	0	0	0	1	79 S.F.	79 S.F.
20' TOTAL:								
35' DIA. TREES								
PISTACHIA CHINENSIS	962	S.F.	0	0	3	0	1443 S.F.	1443 S.F.
35' TOTAL:								
COVERED PARKING TOTAL:							2280 S.F.	
PARKING AREA:							7504 S.F.	
SHADE REQUIRED: 50%:							3752 S.F.	
SHADE PROVIDED: 5%:							3813 S.F.	

PLANT LIST & LEGEND

SYMBOL BOTANIC NAME/Common Name SIZE QUANTITY

-  CALLISTEMON VIMINALIS/WEeping BOTTLEBRUSH (STANDARD) 15 GALLON 5
 -  LAGERSTROEMIA X. MUSKOGEE/CRAPE MYRTLE (STANDARD) 15 GALLON 3
 -  PISTACHIA CHINENSIS/CHINESE PISTACHE 15 GALLON 3
 -  PRUNUS CAROLINIANA "BRIGHT-N-TIGHT"/CAROLINA CHERRY 15 GALLON 8
 -  STREET TREES INSTALLED UNDER SEPARATE CONTRACT
- SHRUB & GROUNDCOVER AREA:**
-  1 GALLON
 - ACHILLEA MILLEFOLIUM 'APPLEBLOSSOM'/COMMON YARROW* 1 GALLON
 - BACCHARIS PILLULARIS 'PIGEON POINT/DWF. COYOTE BRUSH*' 5 GALLON
 - CHONDRPETALUM TECTORUM/DWF. CAPE RUSH* 5 GALLON
 - CISTUS COBARIENSIS 'LITTLE MISS SUNSHINE'/YELLOW ROCKROSE 5 GALLON
 - CISTUS HYBRIDUS/WHITE ROCKROSE 5 GALLON
 - CALLISTEMON V. 'LITTLE JOHN'/DWF. BOTTLE BRUSH 1 GALLON
 - CAREX DIVULSA/EURASIAN GRAY SEDGE* 1 GALLON
 - DIANELLA REVOLUTA 'ALYN-CITATION'/COOLVISTA FLAX LILY FLATS
 - GAZANIA X. 'MITSUA YELLOW'/GAZANIA 5 GALLON
 - HETEROMELES ARBUTIFOLIA/TOYON 1 GALLON
 - JUNCUS PATENS 'CARMAN GRAY'/GRAY RUSH* 1 GALLON
 - LOMANDRA LONGIFOLIA 'LOMLON/LIME TUFF MAT RUSH 5 GALLON
 - MACFADYENA UNGUIS-CATI/CATS CLAW VINE 5 GALLON
 - NERIUM O. 'DWARF RED'/PETITE RED OLEANDER 5 GALLON
 - ROSA CALIFORNICA/WILD ROSE* 5 GALLON
 - ROSA X. HYBRIDA 'MEIRADENA'/ICECAP ROSE 1 GALLON
 - ROSA X. 'MEUCOS/PINK DRIFT ROSE 1 GALLON
 - SEMPERVIVUM TECTORUM/HEN & CHICKS 1 GALLON
 - TULBAGHIA VIOLACEA/SOCIETY GARLIC 1 GALLON
 - VERBENA PERUVIANA 'HOMESTEAD PURPLE'/HYBRID VERBENA 1 GALLON
 - WESTRINGIA FRUTICOSA 'MUNDI/MUNDI COAST ROSEMARY 1 GALLON
-  WATER QUALITY PLANTER (SEE PLANTS MARKED "*" ABOVE)

NOTE: ALL PROPOSED PLANTS ARE LISTED AS 'LOW' OR 'VERY LOW' WATER USERS IN THE STATE'S WUCOLS IV DATABASE UNLESS OTHERWISE NOTED.



Garth Ruffner
Landscape Architect
(916) 797-2576

4120 Douglas Blvd. #306-301, Roseville, California 95746
GarthRuffner.com CA Landscape Architect #2809

Project:

CHIPOTLE
AUBURN
BLVD.

8650 AUBURN BLVD.
CITY OF ROSEVILLE
CALIFORNIA

FOR: McCANDLESS & ASSOC.

Sheet Title:

PRELIMINARY
LANDSCAPE
PLAN

Date: MAY 7, 2026

Scale: 1" = 10'-0"

Job Number: 44045

Sheet Number: **LA** of 1

